

CITY OF GENOA
DEKALB COUNTY, ILLINOIS

ORDINANCE NO. 2020 - 14

ADOPTED BY
THE MAYOR AND
CITY COUNCIL
OF THE
CITY OF GENOA

AN ORDINANCE AUTHORIZING BOUNDARY MODIFICATIONS TO THE
AREA KNOWN AS THE DEKALB COUNTY ENTERPRISE ZONE
-SYNGENTA-

Adopted May 19, 2020, by the Mayor and City Council of the City of Genoa,
DeKalb County, Illinois, and approved and published in pamphlet form
this 20th day of May 2020.

ORDINANCE NO. 2020-14
CITY OF GENOA

AN ORDINANCE AUTHORIZING BOUNDARY MODIFICATIONS
TO THE AREA KNOWN AS THE DEKALB COUNTY ENTERPRISE ZONE
- SYNGENTA -

WHEREAS, the City of DeKalb, the Town of Cortland, the City of Sandwich, the City of Sycamore, the Village of Waterman and the County of DeKalb (collectively, with the City of Genoa, the "Designating Units of Government") entered into an agreement and adopted ordinances and resolutions establishing an Enterprise Zone including incorporated portions of the City of DeKalb, the Town of Cortland, the City of Genoa, the City of Sandwich, the City of Sycamore and the Village of Waterman and unincorporated portions of the County of DeKalb; and;

WHEREAS, the Designating Units of Government entered into an Intergovernmental Agreement dated December 5, 2014, as amended, setting forth mutually-agreed property tax abatements available to certain types of businesses located within the Zone, as set forth in the Initial and subsequently amended Designating Ordinances; and,

WHEREAS, the Initial Designating Ordinances and the DeKalb County Enterprise Zone were certified by the Illinois Department of Commerce and Economic Opportunity (the "DCEO") to begin operations on January 1, 2016, in accordance with the Illinois Enterprise Zone Act (20 ILCS 655/1 et. seq.), hereafter referred to as the "Act"; and,

WHEREAS, there is a need to expand the boundary of the DeKalb County Enterprise Zone to include the area as described in Exhibits "A" and "B", and,

WHEREAS, the proposed area to be added is contiguous, as defined in the Act, to the existing DeKalb County Enterprise Zone boundaries, and,

WHEREAS, there is adequate available acreage in the DeKalb County Enterprise Zone to accommodate the boundary amendment, and,

WHEREAS, a public hearing regarding this boundary amendment was held on May 14, 2020; and

WHEREAS, this Ordinance and the related Amendment to the DeKalb County Enterprise Zone Intergovernmental Agreement found in Exhibit "C" shall be in effect from and after their passage, approval and recording according to law.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Genoa that it hereby approves and concurs with expanding the boundary of the DeKalb County Enterprise Zone to include those areas as described in Exhibits "A" and "B," also referred to as Amendment 2 to the Zone boundary.

BE IT FURTHER ORDAINED that this Ordinance shall become effective immediately upon the adoption thereof, subject to approval by the Illinois Department of Commerce and Economic Opportunity.

PRESENTED, PASSED AND APPROVED this 19th day of May 2020.

Alderman Name	Aye	Nay	Abstain	Absent
Pam Wesner	✓			
Glennis Carroll		✓		
Dennis Di Guido	✓			
James Stevenson	✓			
Courtney Winter	✓			
Chuck Cravatta				✓
Jonathon Brust	✓			
Katie Lang	✓			
Mayor Mark Vicary				

APPROVED:



Mayor Mark Vicary

(SEAL)

ATTEST:



City Clerk Kim Winker

Passed:

5-19-2020

Approved:

5-19-2020

Published:

5-20-2020



CITY OF GENOA ORDINANCE
AUTHORIZING BOUNDARY MODIFICATIONS
TO THE AREA KNOWN AS THE DEKALB COUNTY ENTERPRISE ZONE
BOUNDARY AMENDMENT 2
-SYNGENTA-

EXHIBIT "A"

The following parcels are requested to be added to the DeKalb County Enterprise Zone as the 2nd Amendment to the Zone boundaries since its inception in 2016:

CONNECTING STRIP – 2.72588 acres more or less.

Beginning at the northwest corner of the existing enterprise zone along Twombly Road, then north to center line of Twombly Road, then westerly along a 3 foot strip approximately 6.65 miles to the point of intersection of Twombly Road and Willrett Road, then southerly along a 3 foot strip approximately .86 miles to the northwest corner of the project property, then east to the intersection of the project property.

PARCEL 1 – 24 Acres more or Less

PROPERTY IDENTIFICATION NUMBER: 07-16-300-009.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 40 NORTH, RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS.

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 16 THENCE NORTH 0 DEGREES 01 MINUTE 20 SECONDS WEST ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 16, A DISTANCE OF 71.67 FEET, TO THE NORTHERLY RIGHT OF WAY LINE OF A PUBLIC ROAD DESIGNATED F.A. ROUTE 567 (IL 38); THENCE NORTH 89 DEGREES 56 MINUTES 10 SECONDS EAST ON SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 32.95 FEET, TO THE APPARENT EASTERLY RIGHT OF WAY LINE OF A PUBLIC ROAD DESIGNATED WILLRETT ROAD AND THE POINT OF BEGINNING;

FROM THE POINT OF BEGINNING THENCE NORTH 0 DEGREES 1 MINUTE 20 SECONDS WEST, 663.59 FEET ON SAID APPARENT EASTERLY RIGHT OF WAY LINE; THENCE SOUTH 89 DEGREES 25 MINUTES 18 SECONDS EAST, 1,492.66 FEET; THENCE SOUTH 2 DEGREES 13 MINUTES 52 SECONDS EAST, 126.72 FEET; THENCE SOUTH 7 DEGREES 40 MINUTES 52 SECONDS EAST, 472.43 FEET; THENCE SOUTH 30 DEGREES 17 MINUTES 52 SECONDS EAST, 103.91 FEET, TO THE NORTHERLY RIGHT OF WAY LINE OF SAID F.A. ROUTE 567; THENCE NORTH 89 DEGREES 25 MINUTES 18 SECONDS WEST, 1,579.33 FEET ON SAID NORTHERLY RIGHT OF WAY LINE; THENCE NORTH 59 DEGREES 08 MINUTES 30 SECONDS WEST ON SAID NORTHERLY RIGHT OF WAY LINE, 39.11 FEET, TO THE POINT OF BEGINNING, CONTAINING 24.000 ACRES, MORE OR LESS.

CITY OF GENOA ORDINANCE
AUTHORIZING BOUNDARY MODIFICATIONS
TO THE AREA KNOWN AS THE DEKALB COUNTY ENTERPRISE ZONE
BOUNDARY AMENDMENT 2
-SYNGENTA-

EXHIBIT "B"

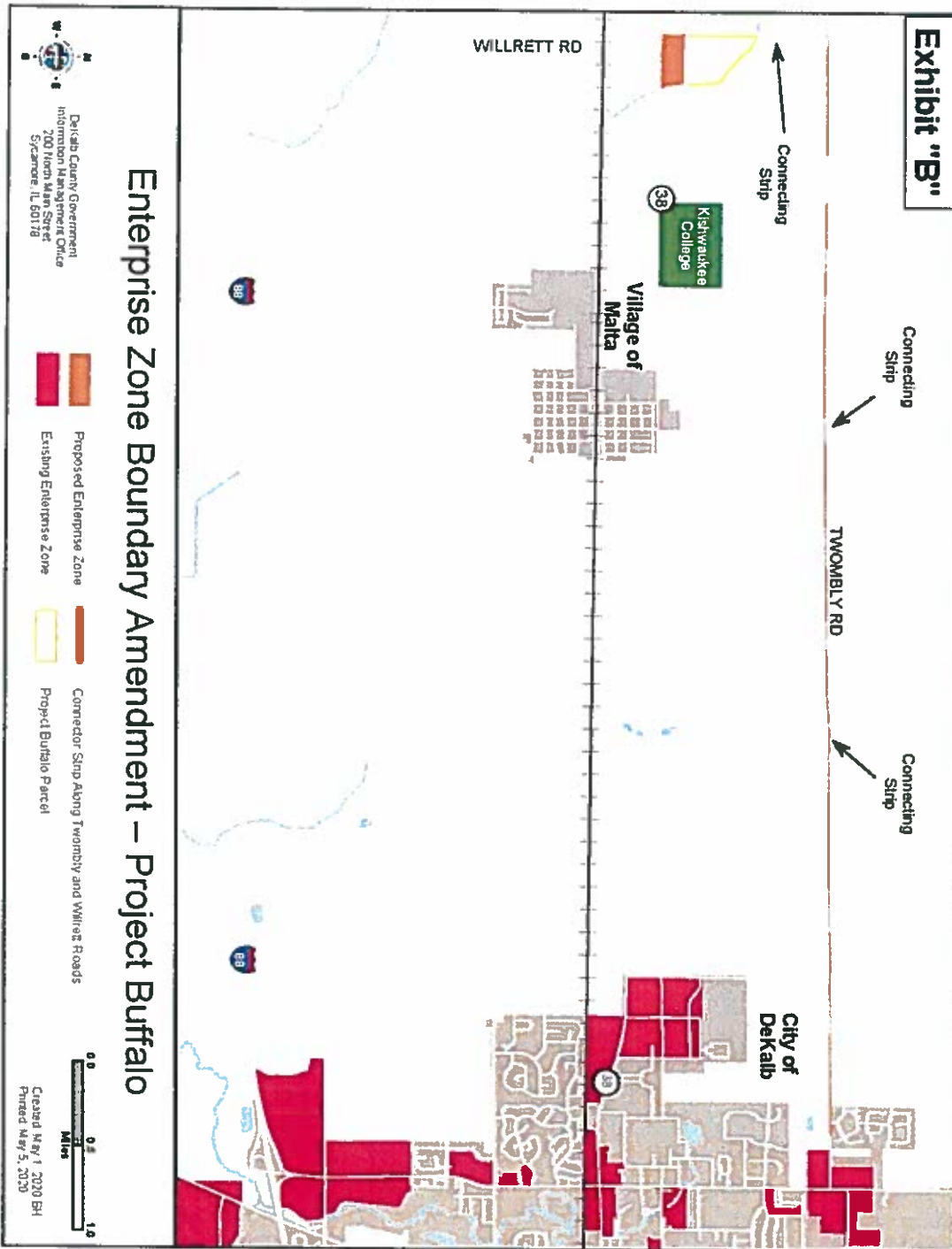


EXHIBIT "C"

**AN AMENDMENT TO THE DEKALB COUNTY ENTERPRISE ZONE
INTERGOVERNMENTAL AGREEMENT
-SYNGENTA BOUNDARY AMENDMENT-**

BE IT ORDAINED AND RESOLVED BY THE CITY OF DEKALB, THE TOWN OF CORTLAND, THE CITY OF GENOA, THE CITY OF SANDWICH, THE CITY OF SYCAMORE, THE VILLAGE OF WATERMAN AND THE COUNTY OF DEKALB (COLLECTIVELY THE "DESIGNATING UNITS OF GOVERNMENT") AS PARTIES TO THE DEKALB COUNTY ENTERPRISE ZONE INTERGOVERNMENTAL AGREEMENT ADOPTED ON THE 5TH DAY OF DECEMBER 2014, AND AS SUBSEQUENTLY AMENDED:

That said Agreement shall be amended to reflect modifications to the Legal Description of the DeKalb County Enterprise Zone, as defined in Boundary Amendment 2 found below:

CONNECTING STRIP – 2.72588 acres more or less.

Beginning at the northwest corner of the existing enterprise zone along Twombly Road, then north to center line of Twombly Road, then westerly along a 3 foot strip approximately 6.65 miles to the point of intersection of Twombly Road and Willrett Road, then southerly along a 3 foot strip approximately .86 miles to the northwest corner of the project property, then east to the intersection of the project property.

PARCEL 1 – 24 Acres more or Less

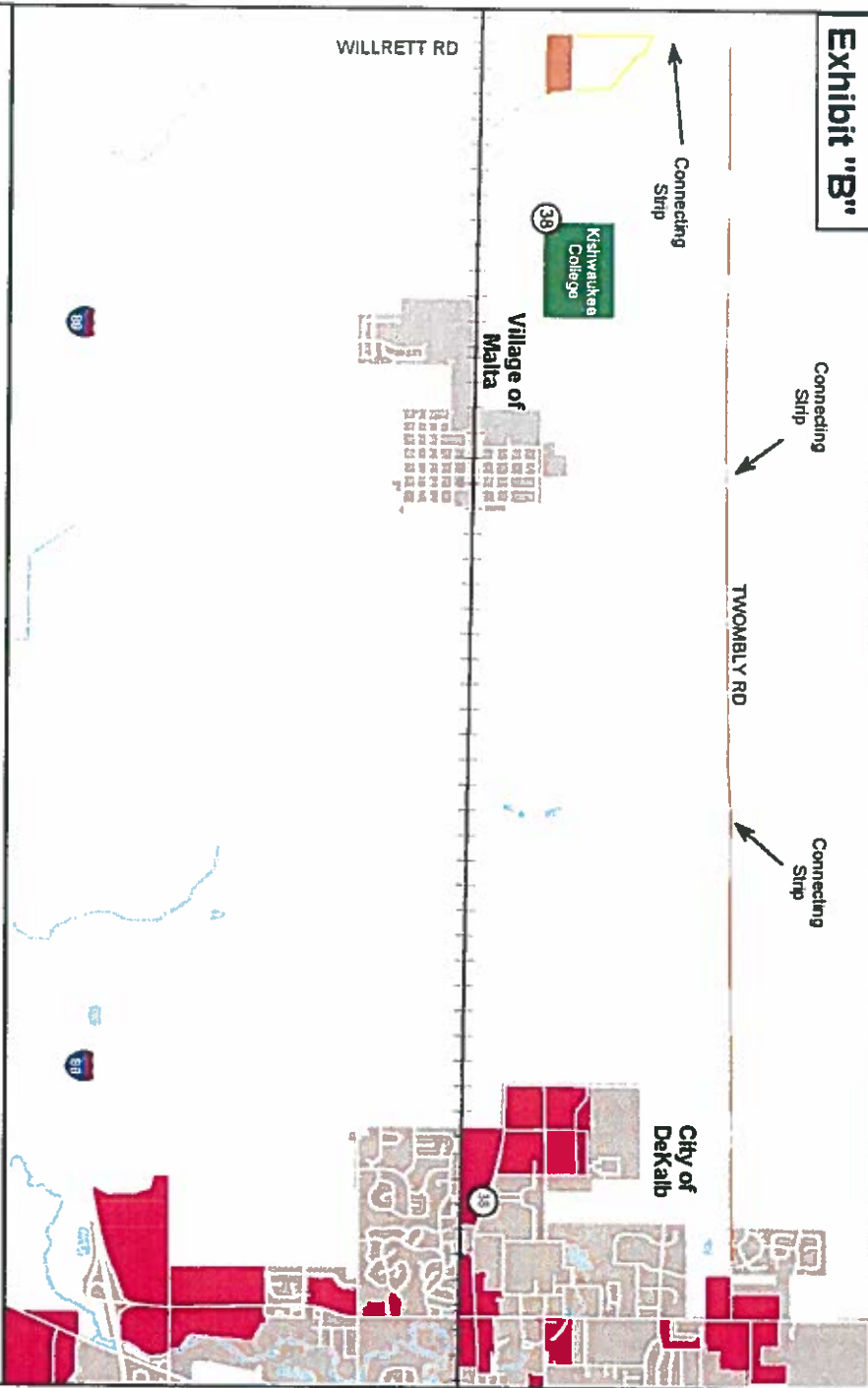
PROPERTY IDENTIFICATION NUMBER: 07-16-300-009.

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 40 NORTH, RANGE 3 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS.

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 16 THENCE NORTH 0 DEGREES 01 MINUTE 20 SECONDS WEST ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 16, A DISTANCE OF 71.67 FEET, TO THE NORTHERLY RIGHT OF WAY LINE OF A PUBLIC ROAD DESIGNATED F.A. ROUTE 567 (IL 38); THENCE NORTH 89 DEGREES 56 MINUTES 10 SECONDS EAST ON SAID NORTHERLY RIGHT OF WAY LINE A DISTANCE OF 32.95 FEET, TO THE APPARENT EASTERLY RIGHT OF WAY LINE OF A PUBLIC ROAD DESIGNATED WILLRETT ROAD AND THE POINT OF BEGINNING;

FROM THE POINT OF BEGINNING THENCE NORTH 0 DEGREES 1 MINUTE 20 SECONDS WEST, 663.59 FEET ON SAID APPARENT EASTERLY RIGHT OF WAY LINE; THENCE SOUTH 89 DEGREES 25 MINUTES 18 SECONDS EAST, 1,492.66 FEET; THENCE SOUTH 2 DEGREES 13 MINUTES 52 SECONDS EAST, 126.72 FEET; THENCE SOUTH 7 DEGREES 40 MINUTES 52 SECONDS EAST, 472.43 FEET; THENCE SOUTH 30 DEGREES 17 MINUTES 52 SECONDS EAST, 103.91 FEET, TO THE NORTHERLY RIGHT OF WAY LINE OF SAID F.A. ROUTE 567; THENCE NORTH 89 DEGREES 25 MINUTES 18 SECONDS WEST, 1,579.33 FEET ON SAID NORTHERLY RIGHT OF WAY LINE; THENCE NORTH 59 DEGREES 08 MINUTES 30 SECONDS WEST ON SAID NORTHERLY RIGHT OF WAY LINE, 39.11 FEET, TO THE POINT OF BEGINNING, CONTAINING 24.000 ACRES, MORE OR LESS.

Exhibit "B"



Enterprise Zone Boundary Amendment – Project Buffalo



- Proposed Enterprise Zone
- Existing Enterprise Zone
- Connector Strip Along Twombly and Willett Roads
- Project Buffalo Parcel



IN WITNESS WHEREOF, the Parties have hereunto set their hands on the date first written above.

City of DeKalb

ATTEST

By: _____
Mayor

By: _____
City Clerk

County of DeKalb

ATTEST

By: _____
County Board Chairman

By: _____
County Clerk

Town of Cortland

ATTEST

By: _____
Mayor

By: _____
Town Clerk

City of Genoa

ATTEST

By:  _____
Mayor

By:  _____
City Clerk

City of Sandwich

ATTEST

By: _____
Mayor

By: _____
City Clerk

City of Sycamore

ATTEST

By: _____
Mayor

By: _____
City Clerk

Village of Waterman

ATTEST

By: _____
Village President

By: _____
Village Clerk

**ADD TERRITORY APPLICATION – Opt. 1
ENTERPRISE ZONE PROGRAM
INSTRUCTIONS**

INTRODUCTION

Under Section 5.4 of the Illinois Enterprise Zone Act, an application to amend a certified designating ordinance must contain substantially the same information as required for an application for certification of an enterprise zone under Section 5.1 of the Act. An amendment to a certified ordinance is not effective until the Department of Commerce and Economic Opportunity (DCEO) approves the application, approves the amending ordinance, and files a certified copy of the ordinance with the local recorder of deeds and the Secretary of State as provided in Section 5.3 of the Act.

APPLICATION PROCEDURES

1. Hold Public Hearing

The designating unit(s) of government must conduct at least one public hearing within the enterprise zone, including the proposed addition, on the question of changing the zone boundaries to add territory. Public notice of the hearing must be published in at least one newspaper of general circulation within the zone area not more than 20 days nor less than 5 days before the hearing.

2. Amend Designating Ordinance(s)

The designating unit(s) of government must amend the designating ordinance(s) to provide the legal description of the proposed enterprise zone boundaries.

The original and two certified copies of the amending ordinance must then be forwarded to DCEO for certification and filing in accordance with Section 5.3 of the Act.

3. Amend Intergovernmental Agreement

The designating units of government must amend their intergovernmental agreement to provide the legal description and **Permanent Index Numbers (PINs)** of the proposed enterprise zone if the legal description is in the intergovernmental agreement. **Please note, for recording purposes, Permanent Index Numbers (PINs) must be included for the proposed areas to be added.**

4. Make Application

The designating unit(s) of government must submit an application to DCEO for approval of the boundary change. DCEO's decision regarding final approval or disapproval of the proposed amendment shall be made within 90 days of the receipt of the application. Direct application to:

Department of Commerce and Economic Opportunity
Enterprise Zone Program
500 East Monroe Street, Fourth Floor
Springfield, Illinois 62701
CEO.EZHelp@illinois.gov

APPLICANT REQUIREMENTS

The applicant is required to complete and submit the standard application form furnished by DCEO (see "Application to Add Territory-Option 1" and "Application to Add Territory-Option 2") and to provide information and documentation including:

1. The notice of Public Hearing;
2. Transcripts of the Public Hearing;
3. The original and two certified copies of the amending ordinances which makes a boundary change;
4. In the case of a joint application, a certified copy of the amended intergovernmental agreement;
5. A legal description of the proposed enterprise zone boundaries that clearly defines and labels the zone boundaries and provides names of streets, rivers, etc.;
Please note, for recording purposes, Permanent Index Numbers (PINs) must be included for the proposed areas to be added;
6. A map of the enterprise zone that includes the proposed area for addition and its relation to the boundaries of the established zone, and that clearly defines and labels the zone boundaries and provides names of streets, rivers, etc.;
7. If the proposed addition is qualified under Option 2, a census map which clearly shows: a) census geography's which are entirely within the proposed addition; b) individual block groups which are included in the calculation of eligibility when the boundaries of the addition split census tracts; and c) census geography's which contain these block groups;
8. Where the proposed addition includes territory under the jurisdiction of taxing districts not previously included, an original and three certified copies of property tax abatement resolutions;
9. Information on the economic characteristics of the proposed addition;
10. Documentation and statistics demonstrating that the proposed addition meets one of the eligibility criteria;
11. A statement concerning the economic development goals and objectives for the addition including: an implementation plan describing the specific tasks, activities and commitments that must be accomplished to achieve them, and, a description of how the proposed boundary change meets the specific objectives of the established enterprise zone; and,
12. A statement describing the input, assistance, prior consultation and community support from individuals, business, labor, neighborhood organizations and others.

Eligibility Criteria

An area proposed for addition to an enterprise zone must be qualified in accordance with Section 4 of the Act.

1. The application must demonstrate and the amending ordinance must find that the proposed zone area:

a. is contiguous; and,

b. Calculating Total Area. For purposes of calculating total area, the minimum is one-half square mile and the maximum is 12 square miles, or 15 square miles if the zone is located within the jurisdiction of four or more counties or municipalities, excluding lakes or waterways. Where the Enterprise Zone is a joint effort of three or more units of government, or two or more units of government, if located in a township divided by a municipality of 1,000,000 or more inhabitants, and where the certification has been in effect at least one year, the minimum is one-half square mile and the maximum is 13 square miles, excluding lakes and waterways. Boundaries that are connecting strips shall be not less than three, nor more than 10, feet wide. Waterways shall not be used as connecting strips. Areas within connecting strips must be considered when determining if the proposed Enterprise Zone meets one of the eligibility tests set forth in subsection (f).

2. The proposed addition must meet one of the criteria outlined below and the area must be consistent with the character, purposes, and objectives of the established zone, and not detrimental to the public and private interests served by the established zone.

OPTION 1: The proposed addition must provide an immediate substantial utility or benefit to the established zone and/or its residents or businesses by:

1. creating or retaining specific jobs; or,
2. removing or correcting an impediment to economic development which exists in the established zone; or,
3. stimulating neighborhood residential or commercial revitalization.

Specific commitments, plans and timetables must be provided to show a high degree of likelihood that inclusion of the area will cause, or be an essential ingredient in achieving, the intended utility or beneficial result.

Option 1 Instructions

Under Option 1, specific development commitment(s) must occur within the two year period following the proposed boundary change. Evidence of development commitment must include: the name of the business, the name of the taxpayer if different than that of the business; the product or service provided; current employment; project scope; estimated cost of the project; estimated construction start and completion dates; construction plans; evidence of financial commitment from financial institutions and/or state, local or federal governments; and, written contracts.

**ADD TERRITORY APPLICATION – Opt. 1
ENTERPRISE ZONE PROGRAM**

Complete "APPLICATION TO ADD TERRITORY - OPTION 1" if you intend to qualify the proposed addition as an area that provides an immediate (2 years or less) substantial utility or benefit to the established zone and/or its residents or businesses by: creating or retaining specific jobs; or removing or correcting an impediment to economic development which exists in the established zone; or, stimulating neighborhood residential or commercial revitalization.

PART A: LEGAL APPLICANT

Type of Application: Single _____ Joint X
(If Joint Application, provide information for each applicant.)

Name of Jurisdiction COUNTY OF DEKALB
Street/P.O. Box 200 North Main Street Zip Code 60178
City Sycamore County DeKalb
Chief Elected Official Honorable Mark Pietrowski, Jr.- County Board Chairman
Zone Administrator Paul J. Borek Phone (815) 895-2711
Type of Applicant: City _____ County XX

Name of Jurisdiction TOWN OF CORTLAND
Street/P.O. Box 59 South Somonauk Road, P.O. Box 519 Zip Code 60112
City Cortland County DeKalb
Chief Elected Official Honorable Russell Stokes - Mayor
Zone Administrator Paul J. Borek Phone (815) 895-2711
Type of Applicant: City (Town) XX County _____

Name of Jurisdiction CITY OF DEKALB
Street/P.O. Box 200 South Fourth Street Zip Code 60115
City DeKalb County DeKalb
Chief Elected Official Honorable Jerry Smith - Mayor
Zone Administrator Paul J. Borek Phone (815) 895-2711
Type of Applicant: City XX County _____

Name of Jurisdiction CITY OF GENOA
Street/P.O. Box 333 East First Street Zip Code 60135
City Genoa County DeKalb
Chief Elected Official Honorable Mark Vicary - Mayor
Zone Administrator Paul J. Borek Phone (815) 895-2711

Type of Applicant: City XX County _____

Name of Jurisdiction CITY OF SANDWICH

Street/P.O. Box 144 East Railroad Street Zip Code 60548

City Sandwich County DeKalb

Chief Elected Official Honorable Richard W. Robinson - Mayor

Zone Administrator Paul J. Borek Phone (815) 895-2711

Type of Applicant: City XX County _____

Name of Jurisdiction CITY OF SYCAMORE

Street/P.O. Box 308 West State Zip Code 60178

City Sycamore County DeKalb

Chief Elected Official Honorable Curt Lang - Mayor

Zone Administrator Paul J. Borek Phone (815) 895-2711

Type of Applicant: City XX County _____

Name of Jurisdiction VILLAGE OF WATERMAN

Street/P.O. Box 215 West Adams Street - P.O. Box 239 Zip Code 60556

City Waterman County DeKalb

Chief Elected Official Honorable Darryl Beach - Village President

Zone Administrator Paul J. Borek Phone (815) 895-2711

Type of Applicant: City (Village) XX County _____

Note: Submit one application that includes an original ordinance(s), intergovernmental agreement, and taxing district resolutions plus 2 certified copies of the ordinances, intergovernmental agreement, and taxing district resolutions. All attachments must be 8-1/2" x 11", excluding maps. The format of this application may be reproduced and completed in an expanded form provided the final application is presented in bound form or loose leaf notebook. All pages must be numbered in sequence and attachments labeled.

PART B: DESCRIPTIVE INFORMATION

1. Total area of the existing enterprise zone: 13.93369 square miles
2. Area of the proposed addition: Acres 26.73 Square Miles .0417
3. Population of the proposed addition: 0
4. Is the proposed addition contiguous with the enterprise zone:
Yes XX No

PART C. PURPOSE OF AMENDMENT

Explain why the amendment is being requested.

The DeKalb County Enterprise Zone Boundary Amendment is being requested to facilitate the construction of a new Research & Development Innovation and Customer Experience Center. After a lengthy site selection process, Syngenta Seeds LLC and Syngenta Crop Protection LLC selected DeKalb County, Illinois as the finalist site for a proposed \$24.6 million project which will eventually employ between 80 to 100 people. In order to keep the proposed project financially viable in Illinois, Enterprise Zone benefits through the DeKalb County Enterprise Zone are necessary. One parcel totaling 24 acres are requested to be added. An additional 2.73 acres are being added as well and compose the entirety of the connecting strip to the current Enterprise Zone boundary.

Upon approval of the Boundary Amendment, the Innovation and Customer Experience Center will allow the company to showcase leading seeds and digital technologies and collaborate even more with farmers, right in the heart of the US Corn Belt. This site would also be about one hour west of Syngenta's global and North America Seeds offices in Downers Grove, allowing them to host agricultural leaders from around the globe. The site will provide facilities for large-scale events and engagement with growers on corn and soybean technology and innovation.

PART D. ELIGIBILITY CRITERION

1. Describe and document the specific development commitment(s) that will occur within the two year period following the proposed boundary change. Such information must include: project scope; estimated cost of the project; timeline for completing project milestones; project start and completion dates; construction plans or schematics; construction permit data; and evidence of financial commitment from financial institutions and/or local, state, or federal government. Indicate the name of the business(es), the Federal Employers' Identification Number (FEIN) for each project, an approved ITR-1 form for each the business(es) involved, the address of the proposed project (s), a contact person for each project, the product or service provided and current employment. Project documentation is to be provided or certified by the business(es) involved.

The project scope will result in a new R&D Innovation and Customer Experience Center to support the company's growth strategy. The project requires significant capital investment to construct an office, customer experience center, lab facility, greenhouse, and warehousing totaling approximately 96,000-square feet. The estimated cost of the project is \$24,600,000 which includes \$2.8M land acquisition cost.

The zoning and entitlement process would begin at the end of Q2 2020 with construction commencing in Q4 2020 and operations beginning in Q4 2022. Design work is expected to be complete in Q4 2020 and expect to apply for construction permits at the conclusion of the construction bidding process. Please refer the "Commitment Letter Final-signed" for detail on the financial commitment for the project under Tab 5 of the Application Package.

Syngenta Seeds, LLC and Syngenta Crop Protection, LLC are the businesses involved with the proposed project.

Syngenta Seeds LLC: FEIN: 40-1292617 IL Acct. ID: 0911-4947

Syngenta Crop Protection LLC: 56-2001572 IL Acct. ID: 2798-3269

The site is located on the northeast corner of Route 38 and Willrett Road, west of Kishwaukee College in DeKalb County. Syngenta is investing in a world-class R&D Innovation and Customer Experience Center, allowing us to showcase leading seeds and digital technologies and collaborate even more with farmers, right in the heart of the US Corn Belt. This site would also be about one hour west of Syngenta's global and North America Seeds offices in Downers Grove, allowing us to host agricultural leaders from around the globe.

The site will provide facilities for large-scale events and engagement with growers on corn and soybean technology and innovation. Syngenta has over 48,000 total employees, with 277 employees across seven locations in the state of Illinois.

Company Contact:

Adam Nissen, P.E.

CPG Project Manager

P: (612) 360-5411

E: adam.nissen@syngenta.com

2. Describe how, and the extent to which, the above described project impacts at least one of the following:

a. job creation or retention;

The project will result in approximately 80-100 jobs based at the new facility, once the building construction is complete. Roles will include research and development, team leads/managers and other functional administrative support roles, with the average base wage currently estimated at approximately \$82,000.

b. removal or correction of an impediment to economic development that exists in the established zone (describe the obstacle to economic activity and indicate the cause, nature, extent and how the obstacle is impacting economic development); or,

c. stimulation of neighborhood residential or commercial revitalization.

PART E. DEVELOPMENT GOALS AND OBJECTIVES

Describe how the proposed boundary change meets specific objectives of the local enterprise zone program and plan.

The project proposed in the boundary amendment ordinances, resolution and intergovernmental agreement meets the goals and objectives of the local zone program and plan. These objectives include fostering a pro-business, pro-jobs environment which allows businesses to grow in order to serve new and expanding markets, take advantage of synergies with existing businesses in the region and to add high quality jobs in multiple business sectors in order to further diversify the local economy.

PART F. COMMUNITY SUPPORT

Describe the input, assistance, resources, and commitments which public and private sector entities provided in the development of this application or will provide in the implementation of the plan. Letters from individuals, business, labor, community, or other groups in support of this application may be attached. However, letters of commitment in support of activities (e.g., technical assistance, financial assistance, business management information, jobs, job training and other appropriate types of assistance or actions) which will help to accomplish the proposed enterprise zone objectives are of greater significance.

The local community and the DeKalb County region as a whole are very supportive of the proposed project. The Enterprise Zone Advisory Board unanimously approved the proposed changes. That Board is composed of the leadership from the Designating Units of Government as well the participating taxing bodies and a number of private sector employers. Additionally, each Designating Unit passed the amending Ordinances and Resolutions as well as the amended Intergovernmental Agreement by nearly unanimous margins.

During the public hearing on the matter no objections were brought forward.

PART G. DEPARTMENT OF AGRICULTURE APPROVAL

Please complete the attached Agricultural Site Review Information sheet and send it in to the Department of Agriculture, prior to submitting this application in to the Department of Commerce and Economic Opportunity. This form can also be found at the following website: www.agr.state.il.us/pdf/agrsitercview.pdf . Completed forms should be sent/faxed to the address listed on page one of the form. Submit a copy of the Department of Agriculture approval letter for the proposed projects in with this application.

The Illinois Department of Agriculture has forwarded correspondence outlining its position on the project to DCEO and the DeKalb County Enterprise Zone. The correspondence, also included in the Appendix section of the Application Package, indicates the Department of Agriculture's support for the project and the fact that they have no opposition to the Zone Amendment.

PART H. APPLICANT CERTIFICATION

THE APPLICANT CERTIFIES THAT:

To the best of my knowledge and belief, data and other information in this application are true and correct, and this document has been authorized by the governing body of the applicant.


CERTIFYING REPRESENTATIVE:
(To be signed by the Chief Elected Official or Designee)

COUNTY OF DEKALB
Designating Unit of Government
7-6-20
Date


Chief Elected Official or Designee
County Board Chairman
Title


CERTIFYING REPRESENTATIVE:
(To be signed by the Chief Elected Official or Designee)

CITY OF DEKALB
Designating Unit of Government
7-6-20
Date


Chief Elected Official or Designee
Mayor
Title

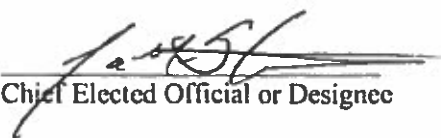
CERTIFYING REPRESENTATIVE:
(To be signed by the Chief Elected Official or Designee)

TOWN OF CORTLAND
Designating Unit of Government
7-6-20
Date


Chief Elected Official or Designee
Mayor
Title

CERTIFYING REPRESENTATIVE:
(To be signed by the Chief Elected Official or Designee)

CITY OF GENOA
Designating Unit of Government
07-07-2020


Chief Elected Official or Designee
Mayor


Date

Title

CERTIFYING REPRESENTATIVE:
(To be signed by the Chief Elected Official or Designee)

CITY OF SANDWICH
Designating Unit of Government

07-07-20
Date


Chief Elected Official or Designee

Mayor
Title

CERTIFYING REPRESENTATIVE:
(To be signed by the Chief Elected Official or Designee)

CITY OF SYCAMORE
Designating Unit of Government

7/7/2020
Date


Chief Elected Official or Designee

Mayor
Title

CERTIFYING REPRESENTATIVE:
(To be signed by the Chief Elected Official or Designee)

VILLAGE OF WATERMAN
Designating Unit of Government

7/6/2020
Date


Chief Elected Official or Designee

Village President
Title

June 24, 2020

Re: Project Syngenta

Dear Designating Unit of Government:


Enclosed, please find your copy of the approved ordinance for the recent Boundary Amendments regarding Project Syngenta, as well as a copy of the individually signed I.G.A. page.

If you have any questions, please feel free to let me know.

We appreciate your support and swift call to action for this project to come to fruition.

Sending positive and healthy wishes to all.

Best;



Karen K. Hoyle
Administrator

Encl.

Thanks, Alyssa, make a kin!